

CITY OF WESTMINSTER			
PLANNING APPLICATIONS COMMITTEE	Date 15 September 2015	Classification For General Release	
Report of Director of Planning		Wards involved West End	
Subject of Report	40 Beak Street, London, W1F 9RQ		
Proposal	Demolition and redevelopment to provide a new five storey building (plus basement) for use as Class A3 restaurant at part of ground and basement floors and Class B1 offices at part basement, part ground and first to fifth floors. Creation of terrace at roof level and plant. Excavation of existing basement by one metre.		
Agent	Bidwells		
On behalf of	40 Beak Street Ltd		
Registered Number	15/04904/FULL	TP / PP No	TP/9369
Date of Application	06.06.2015	Date amended/ completed	06.06.2015
Category of Application	Major		
Historic Building Grade	Unlisted		
Conservation Area	Soho		
Development Plan Context - London Plan July 2011 - Westminster's City Plan: Strategic Policies 2013 - Unitary Development Plan (UDP) January 2007	Within London Plan Central Activities Zone Within Core Central Activities Zone		
Stress Area	Within West End Stress Area		
Current Licensing Position	A Premises Licence has not been submitted to date.		

1. RECOMMENDATION

1. Grant conditional permission, subject to a S106 legal agreement to secure the following:

- Provision of £1,040,000 towards the City Council's affordable housing fund (index linked and payable upon commencement of development);
- The costs of monitoring the S106 agreement.

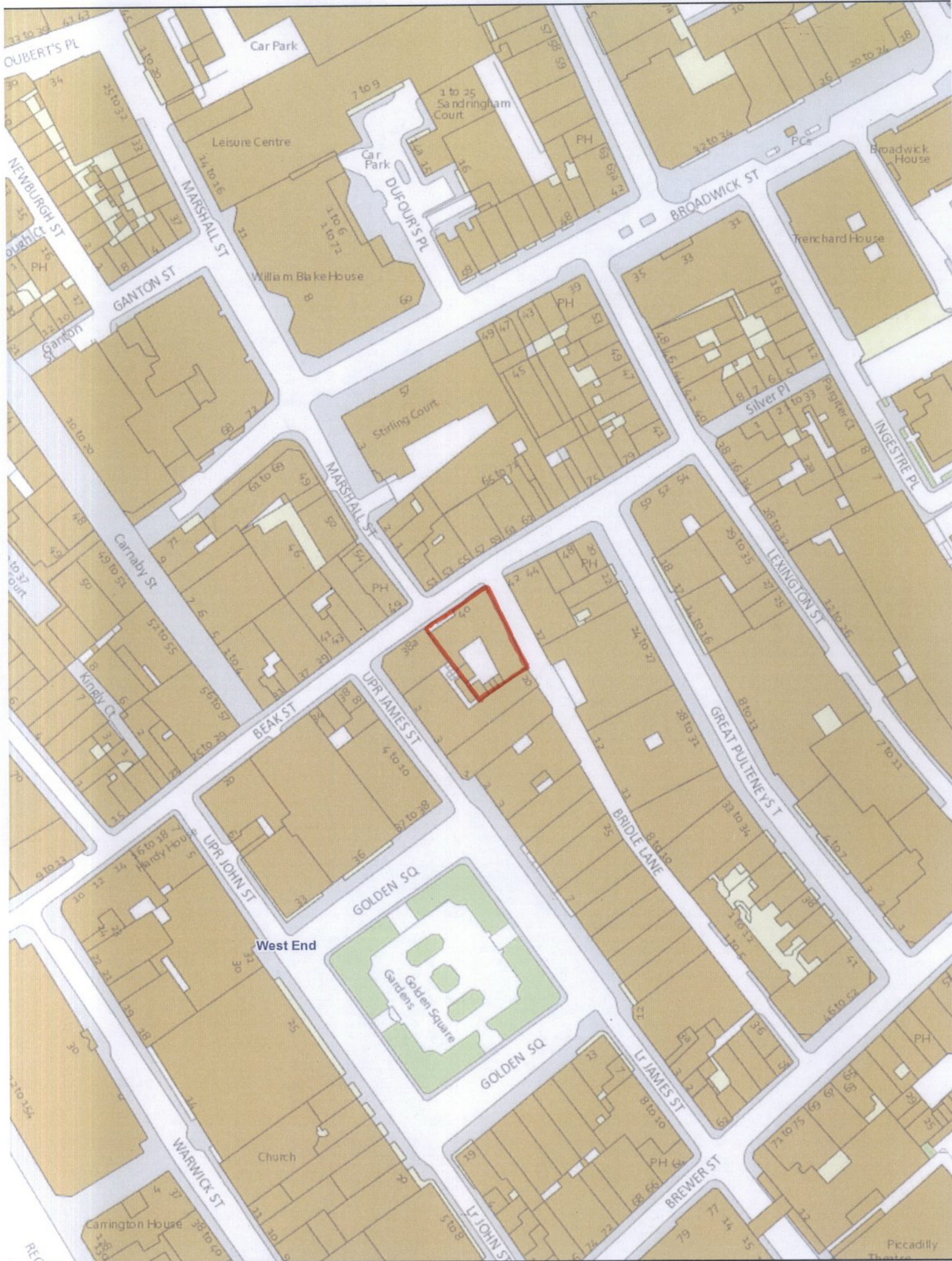
2. If the S106 legal agreement has not been completed within six weeks of the date of this resolution then:

(a) The Director of Planning shall consider whether it would be possible and appropriate to issue the permission with additional conditions attached to secure the benefits listed above. If so, the Director of Planning is authorised to determine and issue the decision under Delegated Powers; however, if not;

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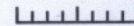
(b) The Director of Planning shall consider whether the permission should be refused on the grounds that the proposals are unacceptable in the absence of the benefits which would have been secured; if so, the Director of Planning is authorised to determine the application and agree appropriate reasons for refusal under Delegated Powers.



N



0 5 10 20 Metres





40 BEAK STREET, W1

2. SUMMARY

The application site is located on the corner of Beak Street and Bridle Lane. The building was originally built as a police section house. Although now vacant, the building was last in use for office purposes. Planning permission has previously been granted (2008 and 2011) for the demolition of the building and the construction of a modern building. These permissions have now expired. Permission is now sought for the demolition of the existing building and redevelopment to provide a new building comprising basement, ground and five upper floors. The basement and ground floors are proposed to be used for restaurant purposes (Class A3). A full height extract duct is proposed and this will be routed internally through the building and terminates at roof level. The rest of the building will be used for office purposes.

The key issues for consideration are:

- The impact of the new building on the character and appearance of the Soho Conservation Area;
- The impact of the new building on residential amenity;
- The increase of restaurant floorspace in the West End Stress Area.

The proposals result in an uplift in commercial floorspace, which requires an equivalent amount of residential floorspace, however, a viability assessment has been submitted, which has been assessed by external consultants, who have concluded that a payment of £1,040,000 can be made.

The proposal is considered acceptable in land use, amenity, design and conservation grounds and complies with the policies set out in the Unitary Development Plan (UDP) and Westminster's City Plan: Strategic Policies (City Plan) and is therefore recommended for approval.

3. CONSULTATIONS

HISTORIC ENGLAND

Regret the proposed demolition of the building which is considered to make a positive contribution to the special character of the conservation area. The applicant is urged to fully explore all options for reuse and adaptation of the existing building. The scheme presents a generally contextual approach to the design and articulation of the elevations and includes a high quality of material finish. Unlike the previously approved scheme, it is noted that the proposed massing exceeds that of Nos. 38a and 42 Beak Street and suggest that the massing of this scheme is reduced accordingly.

SOHO SOCIETY

Objection - new restaurant unacceptable as an intensification to the West End Stress Area. There has been a loss of A1 in the area and the basement and ground floor unit should be used for retail purposes instead.

- The proposal will not enhance the Soho Conservation Area.
- The site is constrained and would make construction difficult.

HIGHWAYS PLANNING MANAGER

No objection.

ENVIRONMENTAL HEALTH

No objection.

BUILDING CONTROL

No objection.

GO GREEN

Any response to be reported verbally.

ADJOINING OWNERS/OCCUPIERS AND ANY OTHER REPRESENTATIONS

No. Consulted: ; Total No. of Replies: 24.

Eight letters of support and 16 letters of objection raising all or some of the following:

Land Use

- Restaurant floorspace in West End Stress Area is unwelcome.

Amenity

- Increase in noise and disturbance from restaurant.
- Opening hours should be restricted to 23.00 not midnight.
- Increase of noise disturbance from taller building.
- New windows will increase the amount of overlooking.
- Loss of light to buildings on the north side of Beak Street.
- The submitted daylight and sunlight report does not give consideration to existing office premises.
- Increase sense of enclosure/loss of daylight and sunlight to adjacent office building.
- Increase in odour from extract duct.
- Impact on the quality of existing office accommodation.

Design

- Loss of existing building.
- Building should be renovated rather than demolished.
- The building should be no taller than that granted consent in 2008 and 2011.
- Dark tiled facade is overpowering and will date quickly.
- Building should be no taller than the adjacent building on Beak Street.

Highways/Serviceing

- Pavement will become congested from customers of the restaurant.
- Vehicular conflict.

Other

- Impact of the works (vibration and noise) on radio station.
- Timing of works is important - no Saturday or Sunday working.

ADVERTISEMENT/SITE NOTICE: Yes

4. BACKGROUND INFORMATION**4.1 The Application Site**

The application site is situated on the corner of Beak Street and Bridle Lane and comprises basement, ground and three upper storeys. The existing building is 'L' shaped and there is a large lightwell in the middle of the site adjacent to the boundary with the adjoining office building at 1-3 Upper James Street.

The building dates from 1910 and was originally built as a police section house. Although now vacant, the building was used for administrative purposes since the 1970s. The building is unlisted but is recognised as an unlisted building of merit within the Soho Conservation Area Audit.

The immediate surrounding properties are all in commercial use. The nearest residential is located opposite the site at 51 Beak Street.

The site is located within the Soho Conservation Area and the West End Stress Area.

4.2 Relevant History

Planning permission granted in June 2008 and renewed in 2011 for the demolition and redevelopment to provide a new building of five storeys plus basement, for use as offices (Class B1) with three self-contained flats on the third and fourth floors (1x3 bedroom, 1x2 bedroom and 1x1 bedroom); creation of green wall from ground to fourth floor, green roof, terraces at third and fourth floor levels and plant at roof level.

5. THE PROPOSAL

Permission is sought for the demolition of the building and reconstruction to create a building comprising basement, ground and four upper floors and a plant room is proposed at fifth floor level. The fourth floor and the plant room will be set back from the main building line and will incorporate terrace areas. The basement level will be lowered by 1175mm. The proposed building is taller to that which received consent in 2008 and 2011.

The new building will be used for restaurant purposes over basement and ground floor level. Access to the restaurant will be via the corner entrance on Beak Street and Bridle Lane. The extract duct will be routed internally and vent at roof level. The rest of the building is proposed to be used as offices with the access from Beak Street.

Proposed floorspace schedule

	Existing	Proposed	+/-
Office	1530.6	2081.6	+551
Restaurant	0	495.8	+495.8
Total	1530.6	2577.4	+1046.8

6. DETAILED CONSIDERATIONS

6.1 Land Use

Offices

The site is located within the Core Central Activities Zone to where new offices are directed by City Plan Policy S18 and UDP Policy COM1. Therefore, an increase in office floorspace is acceptable in principle.

Mixed use policy

UDP Policies CENT3 and COM2 and City Plan Policy S1 aim to encourage mixed use developments within Central Westminster, with the particular aim of including residential accommodation. It is a requirement that any increase in commercial development in excess of 200m² should be matched by residential provision.

The scheme involves an increase in commercial floorspace by 1046.8m² without any provision of residential floorspace. UDP Policy CENT 3(a) states: where appropriate and practical...the provision of self-contained residential accommodation with separate access, where physically possible, will be required; part (b) states: where it is not practical to provide residential accommodation on site, the Council will seek the provision of the required residential accommodation on another site in the vicinity; part (c) states: where it is not

practical to provide residential on site or off-site in the vicinity, other uses which contribute to the character and function of the CAZ should be provided; and part (d) states: where the residential accommodation or an alternative use cannot be provided a contribution to the affordable housing fund is likely to be sought. The 2008 and 2011 scheme included the provision of three residential units, therefore as the proposed footprint of the building is similar to that granted planning permission, it is considered that it is practical to provide residential floorspace on this site.

However, the applicant has stated that it is not appropriate to provide residential accommodation on site for the following reasons:

- Tight site with a relatively small footprint with little scope to add height beyond that proposed.
- The building would require two separate cores resulting in inefficient layout.
- Any residential units would have to be let on shorthold tenancies (freeholder requirement).

The applicant has therefore concluded that on-site residential is inappropriate and given the constraints identified by the applicant, it is considered that there would be difficulties with on-site provision. The applicant has also concluded that it is not possible to provide the required residential floorspace off-site due to the high costs involved in purchasing a site, which would have an impact on viability.

The applicant has argued that they have satisfied CENT3(c) by providing an alternative use to the required residential by proposing a restaurant at basement and ground floor levels. The proposed restaurant comprises 495.8m², is within the West End Stress Area and is 4.2m² below the threshold of a large entertainment use. It is therefore not considered that the restaurant use is a suitable alternative to residential use in the West End Stress Area. Furthermore, even if the City Council accepted this argument, the increase in restaurant floorspace would be required to be offset by an equivalent amount of residential floorspace (as the increase is over 400m²).

The policy compliant payment is £1,722,474 (according to the formula set out in the UDP). The applicant has provided a viability report which sets out the reasons why the residential floorspace cannot be provided on site and why the development would not be viable with a payment to the affordable housing contribution fund.

The City Council has appointed an independent viability expert to assess the proposals and to advise on the matter. Our consultants agree that the provision of on-site residential would undermine the economic viability of the proposals. However, they have confirmed that the scheme would be viable with a payment of £1,040,000. The applicant has agreed to make this payment.

Restaurant

City Plan Policy S6 accepts that, in principle, entertainment uses are appropriate for the Core Central Activities Zone. However, as the site is located within the West End Stress Area the introduction of new entertainment uses is considered more sensitive.

The Soho Society comments that this space would be better used for retail purposes. Retail floorspace is not proposed as part of this scheme and it would be unreasonable to request that this is introduced.

The proposed restaurant use comprises 495.8m² and Policy TACE9 of the UDP applies. This relates to entertainment uses which may be permissible. TACE9(B) states that permission will

only be granted for proposals where the City Council is satisfied that the proposed development has no adverse effect upon residential amenity or local environmental quality as a result of noise; vibration; smells; increased late night activity; increased parking and traffic and no adverse effect on the character or function of its area.

The Soho Society has objected to the new restaurant floorspace commenting that it will result in an intensification of entertainment uses within the West End Stress Area. A number of objections have also been received from residential and commercial occupiers relating to the increase in noise disturbance from customers, deliveries, rubbish disposal, saturation of restaurant uses and the cumulative impact in the immediate area.

The restaurant proposals are speculative with no end-user identified, and therefore it is not possible at this time to consider the likely impact by assessing the track record of the intended occupier. However, conditions could be used to control the opening times and activity to limit the impact. These conditions would ensure that the use would essentially be a sit-down restaurant (limited to 125 covers) with any ancillary bar limited to a small part of the premises (i.e. 15%) and these bars could be used only by diners before and after meals. The hours of opening would be restricted to the terminal hour of midnight with breakfast opening at 08.00hrs and despite the objection on the hours proposed is within the hours set out in the UDP. The main entrance doors at ground floor level would be required to be self-closing within an enclosed lobby to minimise noise escape. The new building has been designed to incorporate an internal kitchen extract terminating at high level.

The nearest residential properties are located opposite the application site at 51 Beak Street and 61-63 Beak Street, with other residential properties being located towards the junction with Lexington Street. The ground floor units along Beak Street are characterised by restaurant and retail uses. It is considered that there is an even mix of A3 and A1 uses along the street and the addition of a further restaurant use in this street is acceptable. The proposal will introduce and enhance the street level activity in place of the existing blank frontage. It is not considered that there will be a cumulative impact as a result of this new restaurant in the West End Stress Area.

A draft Operational Management Plan (OMP) has been submitted which states that the restaurant will operate a booking system, which will prevent customers queuing on the street. Any customers who wish to smoke will be directed to Bridle Lane and they will be supervised at all times and will be prevented from taking their drinks with them. As the management plan is in draft form, it is considered that once an operator is selected a more robust OMP is submitted. This is dealt with by condition.

An internal refuse storage area is proposed and this is considered acceptable.

There is a dedicated service entrance for the restaurant use within Bridle Lane. The submitted Servicing Management Plan (SMP) states that there will be up to four deliveries per day and will take place between 06.00 – 08.30. These hours and the number of daily deliveries are considered reasonable in this area and it is not considered that there will be an increase in noise disturbance.

6.2 Townscape and Design

6.2.1 Demolition of the existing building

The police section house was erected in 1909–10 for the Metropolitan Police; the architect being the police surveyor at the time, J. Dixon Butler. The Survey of London describes the building as:

"An austere building reflecting something of the influence of C. R. Mackintosh. The walls are of grey brick above a base of brown glazed bricks, and there are plain stone surrounds with cyma-moulded labels to the arched doorway and the three-light windows of the ground storey. A large segmental bowed window, divided by stone mullions and transoms, lights the staircase." (*Survey of London: volumes 31 and 32: St James Westminster, Part 2 1963*).

The building's most attractive features are the entrance and curved stairwell on Beak Street. These features are visible along Beak Street from the west only, being hidden by the projecting corner in views from the east.

Apart from the entrance, the existing building does not present an active frontage to the street. The raised design of the ground floor means that the lower street presence is dictated by the half-basement windows at foot level and not full windows at eye level, to create a street-friendly facade. In this respect it represents poor urban design. The Bridle Lane facade is more utilitarian than Beak Street, with only high and low level windows and no entrance.

The existing building is unlisted but designated as being of merit in the Soho Conservation Area Audit. It contributes to the rich mixture of buildings in Beak Street, which includes original Georgian houses, Victorian redevelopment and 20th century buildings in a variety of architectural styles. There is a presumption in favour of its retention unless demolition is required to accommodate a replacement building that preserves or enhances the character and appearance of the conservation area to a greater degree.

However, the City Council accepted the demolition of the building in 2008 because it considered the merits of the alternative proposal (i.e. the proposed new building) outweighed the benefits to the conservation area of retaining the existing building.

6.2.2 The proposed new building

Layout

The proposed building would fill the site, reinstating the historic building lines and eliminating the set backs of the existing building on Beak Street. This is considered acceptable and appropriate.

Height and bulk

The proposed building is five storeys high with roof level plant. The top floor and plant room are progressively set back from the front facade. The principal parapet level on Beak Street and Bridle Lane is slightly higher than the parapet of the building immediately to the east, on the other side of Bridle Lane. At its western end the parapet is one storey lower. The highest parapet level, above the top floor, is slightly higher than the top of the front of the mansard roof of the adjoining building to the west. The roof level plant area is just over two metres above this level, and corresponds to the level of the set back mansard on the adjacent property.

The proposed height and bulk are greater than the existing building and the previously approved building, but are considered acceptable in relation to the neighbouring buildings.

Facade design

The proposed new building would be a modern design, with facades of glazed bricks. The ground floor is clad in dark bricks and the upper storeys clad in a lighter brick. The use of high quality glazed bricks is acceptable in this location. The use of glazed tiles would diminish the quality of the building, and is inappropriate and unacceptable in this conservation area location. The facades have a regular fenestration pattern recessed within a framework of

glazed brick piers. The scale and design of the new building relates to the larger scale 19th century redevelopments in Soho, such as those elsewhere in Beak Street and Lexington Street.

Shopfronts

One of the weaknesses of the existing building is its rather inactive ground floor frontage. The new building will have an active frontage with glazed shopfronts to bring activity to the street. This is beneficial in conservation area terms.

Public art

Public art is integrated into the design of the façade in the form of cast decorative metalwork panels in the framework of the splay windows on the corner, and in the cornice at high level. The public art, inspired by microscopic metal structures, and a reference to the historic name of Beak Street, Silver Street, is the work of Lee Simmons, who is also working on other new buildings in the West End, at Marble Arch, Wimpole Street and Wigmore Street. These panels give the building a slightly Art Deco feel.

Objections

A number of objections have been received with respect to design issues. Several refer to the height and bulk being unacceptable in relation to the context. Some suggest that the building should be no higher than previously approved. Others refer to the design being bland and the use of large windows and dark tiles inappropriate.

Historic England state that the scheme 'presents a generally contextual approach to the design and articulation of the elevations and include a high quality of material finish'. However, they object to the proposed height and bulk which 'exceeds that of 38a and 42 Beak Street' and they suggest the massing of this scheme should be reduced accordingly.

6.2.3 Conclusion

The existing building is undoubtedly of architectural and historic interest and makes a positive contribution to the conservation area. However, the proposed building is a high quality modern design which would be a suitable addition to the rich eclectic mixture of buildings which comprise Beak Street and this part of the conservation area generally. It is concluded that demolition of the existing building is acceptable given the qualities and advantages of the proposed building. The proposal is considered to comply with UDP Policies DES 1, DES 4 and DES 9.

6.3 Amenity

The proposed building is taller than existing, and also taller than its immediate neighbour at 1-3 Upper James Street. The proposed scheme is also one storey taller than the approved 2008 and 2011 scheme. To the rear the building will occupy the whole of the existing rear lightwell and will be built up to the boundary wall. Terraces are proposed at third, fourth and fifth floor level.

The nearest residential properties are located at 51 Beak Street, opposite the application site. Objections have been received on the grounds that there will be a loss of light to residential properties and adjacent office premises, loss of privacy from the proposed terraces and new office windows, increased noise disturbance from the terraces, increased sense of enclosure to office premises and loss of sky visibility.

Daylight and Sunlight

A daylight and sunlight study has been submitted and this has tested the residential properties

on the opposite side of the street. An objection has been received from the neighbouring office premises that their windows should have been tested. However, UDP Policy ENV13 seeks to protect residential and other sensitive uses. Offices are not considered to be sensitive uses and therefore there is no requirement for a study to be submitted.

With regards to 51 Beak Street, the daylight report indicates that there will be losses to daylight levels (VSC) ranging from 0.10% - 25.10%. Two windows at ground floor level will lose 25% and 20%, these windows serve the library of the single family dwelling and the existing levels of VSC are low, so the losses are disproportionately high. There are also two further windows at ground floor level which serve the library and remain unaffected by the proposals, and it is considered that this room would retain good levels of daylight. One window at first floor level which serves the living room will lose 21% of VSC, this window will also lose 33% of sunlight. There are three other windows which serve the living room on Marshall Street which remain unaffected by the proposals and given this, it is considered that this room would also retain good reasonable daylight and sunlight levels. The proposal is therefore considered to have no potentially unreasonable effect on the living conditions of existing residents in the locality.

Sense of Enclosure

The proposed building will occupy the full extent of the building's footprint and will be built up to the boundary walls with 1-3 Upper James Street. To the west, the neighbouring office building is set back from the boundary by a lightwell. To the south, the neighbouring office building abuts the site. There are windows in both elevations, which will be affected by the proposal. The objection from the occupier's states that this will have a detrimental impact on the office accommodation blocking two boardroom windows and resulting in loss of light and increased sense of enclosure. However, the 2008 and 2011 permissions also built up to both boundaries and given that the City Council's policy for protecting amenity is primarily aimed at protecting the living standards of residents rather than commercial occupiers, it is not considered that a reason for refusal could be sustained on the grounds of loss of light or increased sense of enclosure to existing office windows.

The boardroom which will be blocked is on the windows boundary wall and subsequently the applicant will need a party wall agreement for this element of the proposals. In addition, this room is also served by another window on Bridle Lane and it is not considered that the use of this room would be so adversely affected to prevent its continued use for office purposes.

It is considered that the western elevation on this boundary should be clad in white glazed brick to increase the reflectivity and this is dealt with by condition.

An objection has also been received from the office occupier of the building on the opposite side of Bridle Lane, stating that the increased height of the building will have a detrimental impact on daylighting levels and sky visibility. Any loss of views of the sky from this neighbouring commercial building would not have sufficient weight to justify refusal of planning permission.

Overlooking

Objections have been received on the grounds that there will be loss of privacy from the use of the terraces. The third floor terrace to the front of the building will be set back behind the building line, it is also opposite the entrance to Marshall Street and therefore not considered to cause overlooking to the residential properties at 51 Beak Street. Terraces are also proposed at fourth and fifth floor level. As these are at a higher level than the existing residential properties, it is not considered that there will be an increase in overlooking from the use of these terraces.

Objections have also been received to the new office windows. It is noted that these are larger than the existing windows, however, they have been designed to include ceramic fritting to the lower part of the window, thereby reducing the amount of visibility through the glass.

It is not considered that the use of the terraces will increase the amount of noise and disturbance in the area, as these will only be used during office times.

Plant

Mechanical plant is proposed at basement and at roof level. At roof level this will be enclosed within an acoustic plant enclosure. A full height extract duct is also proposed, this will be routed internally (from basement level) and extract at roof level. The duct will exhaust in the direction of the plant enclosure away from the neighbouring windows. Objections have been received from the neighbouring office building on the grounds that there will be an increase in noise from the plant and odours from the extract duct. Environmental Health has no objection to the proposal and the plant is likely to comply with the City Council's standard noise conditions. A condition is also proposed to ensure that the duct terminates above the height of the adjoining office building. The objections on these grounds are therefore not considered sustainable.

6.4 Transportation/Parking

The Highways Planning Manager raises no objections to the proposal and considers that the proposal is unlikely to have a significant impact on car parking in the area. The site is also well served by public transport, and despite the objections raised on the grounds of vehicular conflict, it is not considered that the application could be refused on these grounds. The measures outlined in the draft OMP, including asking customers to remain in the premises until taxis arrive, will help to address objector's concerns relating to pavement congestion.

Servicing

UDP TRANS20 requires off street servicing. No off-street servicing is proposed. The site is located within a Controlled Parking Zone, which means that single/double yellow lines in the vicinity can allow loading and unloading to occur. The largest regular servicing vehicle expected to be associated with the development is the refuse collection vehicle. A Servicing Management Plan (SMP) has been submitted with the application and indicates that servicing will take place between 07.00 and 19.00, but as there is no loading between 08.30 and midnight, the servicing can only occur during the early hours of the morning. As the service entrance is located within Bridle Lane away from any residential properties, it is considered that servicing can take place between 06.00-08.30 hours. A condition is recommended to secure these hours.

Cycle parking

Separate storage areas are proposed for the offices and restaurant. The application has been amended to ensure that the number of cycle spaces complies with the standards set out in the London Plan. The Highways Planning Manager has confirmed that the proposal now provides sufficient spaces.

6.5 Economic Considerations

Any economic benefits generated are welcomed.

6.6 Other UDP/Westminster Policy Considerations

Basement excavation

The existing basement level is proposed to be lowered by 1175mm. A structural report has been submitted and Building Control has no objection to the lowering of the floor level.

Construction impacts

Objections have been received on the grounds that this is a constrained site situated on the corner of relatively narrow roads, in particular Bridle Lane. An objection has also been received from Kiss radio, who is concerned over the vibrations caused during building works. A draft Construction Management Plan has been submitted, which covers issues of the basement excavation and the demolition and reconstruction. As this is still in a draft form, a condition requiring a full CMP is recommended. The objections relating to the construction impacts are not considered sustainable to justify a refusal.

The concerns regarding weekend construction works are noted, and the standard hours of work condition is imposed.

6.7 London Plan

The proposal does not raise strategic issues and does not have significant implications for the London Plan.

6.8 National Policy/Guidance considerations

Central Government's National Planning Policy Framework (NPPF) came into effect on 27 March 2012. It sets out the Government's planning policies and how they are expected to be applied. The NPPF has replaced almost all of the Government's existing published planning policy statements/guidance as well as the circulars on planning obligations and strategic planning in London. It is a material consideration in determining planning applications.

Until 27 March 2013, the City Council was able to give full weight to relevant policies in the Core Strategy and London Plan, even if there was a limited degree of conflict with the framework. The City Council is now required to give due weight to relevant policies in existing plans "according to their degree of consistency" with the NPPF. Westminster's City Plan: Strategic Policies was adopted by Full Council on 13 November 2013 and is fully compliant with the NPPF. For the UDP, due weight should be given to relevant policies according to their degree of consistency with the NPPF (the closer the policies in the plan to the NPPF, the greater the weight that may be given).

The UDP policies referred to in the consideration of this application are considered to be consistent with the NPPF unless stated otherwise.

6.9 Planning Obligations

From 6 April 2015, the Community Infrastructure Levy Regulations 2010 (as amended) impose restrictions on the use of planning obligations requiring the funding or provision of a type of infrastructure or a particular infrastructure project. Where five or more obligations relating to planning permissions granted by the City Council have been entered into since 6 April 2010 which provide for the funding or provision of the same infrastructure types or projects, it is unlawful to take further obligations for their funding or provision into account as a reason for granting planning permission. These restrictions do not apply to funding or provision of non-infrastructure items (such as affordable housing) or to requirements for developers to enter into agreements under Section 278 of the Highways Act 1980 dealing with highway works. The recommendations and detailed considerations underpinning them in this report have taken these restrictions into account.

The City Council has consulted on the setting of its own Community Infrastructure Levy, which is likely to be introduced later in 2015. In the interim period, the City Council has issued interim guidance on how to ensure its policies continue to be implemented and undue delay to

development avoided. This includes using the full range of statutory powers available to the Council and working pro-actively with applicants to continue to secure infrastructure projects by other means, such as through incorporating infrastructure into the design of schemes and co-ordinating joint approaches with developers.

For reasons outlined elsewhere in this report, a S106 legal agreement will be required to secure the following:

- Affordable housing payment of £1,040,000.

The proposed development is also liable for a Mayoral CiL payment.

It is considered that the 'Heads of Terms' listed above satisfactorily address City Council policies. The planning obligations to be secured, as outlined in this report, are in accordance with the City Council's adopted City Plan and London Plan policies and they do not conflict with the Community Infrastructure Levy Regulations 2010 (as amended).

6.10 Environmental Assessment including Sustainability and Biodiversity Issues

City Plan Policy S39 states that major development should be designed to line to and extend existing heat and energy networks in the vicinity. Space has been made available at basement level to incorporate future connections, should a district energy network become viable for this development. This is considered to comply with Policy S39.

City Plan Policy S40 requires all major development to maximise on-site renewable energy generation to achieve at least 20% reduction in carbon dioxide emissions. Photovoltaic panels are proposed at roof level (10m²). Other energy efficiency measures are proposed and these result in 36% reduction in carbon dioxide emissions.

6.11 Access

Level access will be provided to the ground floor restaurant and the office entrance. Lift access is proposed to all floors of the office accommodation. A condition is recommended requiring the detailed layout of the proposed restaurant to show how access will be gained to the lower ground floor level.

6.12 Conclusion

The proposal is considered acceptable in land use, amenity and design grounds and is therefore recommended for approval.

BACKGROUND PAPERS

1. Application form
2. Letter from Historic England dated 29 June 2015
3. Letter from the Soho Society dated 10 July 2015
4. Memoranda from Environmental Health dated 8 July 2015 and 2 September 2015
5. Memorandum from the Highways Planning Manager dated 5 August 2015
6. Letter from owner/occupier of 1 Golden Square dated 24 June 2015
7. Letter from owner/occupier of 93 Stirling Court, 3 Marshall Street dated 26 June 2015
8. Letter from owner/occupier of 94 Stirling Court, 3 Marshall Street dated 26 June 2015
9. Letter from owner/occupier of 65c Beak Street dated 29 June 2015

10. Letter from owner/occupier of 51 Beak Street dated 30 June 2015
11. Letter from owner/occupier of 42-44 Beak Street dated 1 July 2015
12. Letter from owner/occupier of 1 Upper James Street dated 2 July 2015
13. Letter from owner/occupier of Flat 2, 6 Upper John Street dated 3 July 2015
14. Letter from owner/occupier of 53 Stirling Court, Marshall Street dated 3 July 2015
15. Letter from owner/occupier of 10.2 Stirling Court dated 6 July 2015
16. Letter from owner/occupier of first floor, 61-63 Beak Street dated 6 July 2015
17. Letter from owner/occupier of Flat 1, 6 Upper John Street dated 6 July 2015
18. Letter from owner/occupier of Flat 3, 61-63 Beak Street dated 7 July 2015
19. Letter from owner/occupier of Flat 9, 20 Marshall Street dated 7 July 2015
20. Letter from owner/occupier of 22 Marshall House, 49 Marshall Street dated 14 July 2015
21. Letter from owner/occupier of 11 Marshall House, 49 Marshall Street dated 19 July 2015
22. Letter on behalf of Simon Bowden Architecture, 37 Golden Square dated 10 August 2015
23. Letter on behalf of Estates and Agency Group, 33 Ely Place dated 10 August 2015
24. Letter from owner/occupier of 11-13 Frith Street dated 14 August 2015
25. Letter from owner/occupier of 27 Kingly Street dated 14 August 2015
26. Letter from owner/occupier of Flat 1, 25 Kingly Street dated 14 August 2015
27. Letter on behalf of Landmass London, 48 Beak Street dated 17 August 2015
28. Letter from owner/occupier of Flat 2, 24 Palace Court dated 21 August 2015

IF YOU HAVE ANY QUERIES ABOUT THIS REPORT OR WISH TO INSPECT ANY OF THE BACKGROUND PAPERS PLEASE CONTACT JOSEPHINE PALMER ON 020 7641 2723 OR BY E-MAIL – jpalme@westminster.gov.uk

DRAFT DECISION LETTER

Address: 40 Beak Street, London, W1F 9RQ

Proposal: Demolition and redevelopment to provide a new five storey building (plus basement) for use as Class A3 restaurant at part of ground and basement floors and Class B1 offices at part basement, part ground and first to fifth floors. Creation of terrace at roof level and plant. Excavation of existing basement by one metre.

Plan Nos: ST-EX-00-001, ST-EX-02-99, 100, 101, 102, 103, 104, ST-EX- 03-099, 100, 101, ST-EX-04-100, ST-DM-00-000
ST-PR-02 -099 P1, ST-PR-02-100 P1, 101, 102, 103, 104, 105, ST-PR-03-099, 100, 101 P1, ST-PR-04-100

Noise impact assessment, Structural Statement (INFORMATION ONLY), Energy assessment, transport statement

Case Officer: Helen MacKenzie

Direct Tel. No. 020 7641 2921

Recommended Condition(s) and Reason(s):

- 1 The development hereby permitted shall be carried out in accordance with the drawings and other documents listed on this decision letter, and any drawings approved subsequently by the City Council as local planning authority pursuant to any conditions on this decision letter.

Reason:

For the avoidance of doubt and in the interests of proper planning.

- 2 Except for basement excavation work, you must carry out any building work which can be heard at the boundary of the site only:
- * between 08.00 and 18.00 Monday to Friday;
 - * between 08.00 and 13.00 on Saturday; and
 - * not at all on Sundays, bank holidays and public holidays.

You must carry out basement excavation work only:

- * between 08.00 and 18.00 Monday to Friday; and
- * not at all on Saturdays, Sundays, bank holidays and public holidays.

Noisy work must not take place outside these hours. (C11BA)

Reason:

To protect the environment of neighbouring residents. This is as set out in S29 and S32 of Westminster's City Plan: Strategic Policies adopted November 2013 and ENV 6 of our Unitary Development Plan that we adopted in January 2007. (R11AC)

- 3 If you provide a bar and bar seating, it must not take up more than 15% of the floor area of the property, or more than 15% of each unit if you let the property as more than one unit. You must use the bar to serve restaurant customers only, before, during or after their meals. (C05GA)

Reason:

To make sure that the use will not cause nuisance for people in the area. This is as set out in S24, S29 and S32 of Westminster's City Plan: Strategic Policies adopted November 2013 and TACE 9 and ENV 6 of our Unitary Development Plan that we adopted in January 2007. (R05GB)

- 4 You must not open the restaurant premises to customers, and you must not allow customers on the premises, outside the hours 08.00 to midnight Monday to Saturday and 08.00 - 23.00 on Sundays. (C12DC)

Reason:

To make sure that the use will not cause nuisance for people in the area. This is as set out in S24, S29 and S32 of Westminster's City Plan: Strategic Policies adopted November 2013 and TACE 10 and ENV 6 of our Unitary Development Plan that we adopted in January 2007. (R05GB)

- 5 You must provide detailed drawings (plans and section/elevation) showing the full height kitchen extract duct indicated on your approved drawings. These details must be provided before the restaurant use commences and the approved duct shall thereafter be permanently retained for as long as the restaurant is in use.

Reason:

To protect the environment of people in neighbouring properties as set out in S29 and S32 of Westminster's City Plan: Strategic Policies adopted November 2013 and ENV 6, ENV 7 and DES 5 of our Unitary Development Plan that we adopted in January 2007. (R14AC)

- 6 You must apply to us for approval of a management plan to show how you will prevent restaurant customers who are leaving the building from causing nuisance for people in the area, including people who live in nearby buildings. You must not start the restaurant use until we have approved what you have sent us. You must then carry out the measures included in the management plan at all times that the restaurant is in use.

Reason:

To make sure that the use will not cause nuisance for people in the area. This is as set out in S24, S29 and S32 of Westminster's City Plan: Strategic Policies adopted November 2013 and TACE 9 and ENV 6 of our Unitary Development Plan that we adopted in January 2007. (R05GB)

- 7 The Class A3 use allowed by this permission must not begin until you have fitted self-closing doors within an enclosed lobby at the entrances. You must not leave these doors open except in an emergency or to carry out maintenance. (C13MA)

Reason:

To protect neighbouring residents from noise nuisance, as set out in S24, S29 and S32 of Westminster's City Plan: Strategic Policies adopted November 2013 and ENV 6 and ENV 7 of our Unitary Development Plan that we adopted in January 2007. (R13FB)

- 8 (1) Where noise emitted from the proposed plant and machinery will not contain tones or will not be intermittent, the 'A' weighted sound pressure level from the plant and machinery (including non-emergency auxiliary plant and generators) hereby permitted, when operating at its noisiest, shall not at any time exceed a value of 10 dB below the minimum external background noise, at a point 1 metre outside any window of any residential and other noise sensitive property, unless and until a fixed maximum noise level is approved by the City Council. The background level should be expressed in terms of the lowest LA90, 15 mins during the proposed hours of operation. The plant-specific noise level should be expressed as LAeqTm, and shall be representative of the plant operating at its maximum.
- (2) Where noise emitted from the proposed plant and machinery will contain tones or will be intermittent, the 'A' weighted sound pressure level from the plant and machinery (including non-emergency auxiliary plant and generators) hereby permitted, when operating at its noisiest, shall not at any time exceed a value of 15 dB below the minimum external background noise, at a point 1 metre outside any window of any residential and other noise sensitive property, unless and until a fixed maximum noise level is approved by the City Council. The background level should be expressed in terms of the lowest LA90, 15 mins during the proposed hours of operation. The plant-specific noise level should be expressed as LAeqTm, and shall be representative of the plant operating at its maximum.
- (3) Following installation of the plant and equipment, you may apply in writing to the City Council for a fixed maximum noise level to be approved. This is to be done by submitting a further noise report confirming previous details and subsequent measurement data of the installed plant, including a proposed fixed noise level for approval by the City Council. Your submission of a noise report must include:
- A schedule of all plant and equipment that formed part of this application;
 - Locations of the plant and machinery and associated: ducting; attenuation and damping equipment;
 - Manufacturer specifications of sound emissions in octave or third octave detail;
 - The location of most affected noise sensitive receptor location and the most affected window of it;
 - Distances between plant & equipment and receptor location/s and any mitigating features that may attenuate the sound level received at the most affected receptor location;
 - Measurements of existing LA90, 15 mins levels recorded one metre outside and in front of the window referred to in (d) above (or a suitable representative position), at times when background noise is at its lowest during hours when the plant and equipment will operate. This acoustic survey to be conducted in conformity to BS 7445 in respect of measurement methodology and procedures;
 - The lowest existing LA90, 15 mins measurement recorded under (f) above;
 - Measurement evidence and any calculations demonstrating that plant and equipment complies with the planning condition;
 - The proposed maximum noise level to be emitted by the plant and equipment.

Reason:

Because existing external ambient noise levels exceed WHO Guideline Levels, and as set out in ENV 6 (1), (6) and (8) and ENV 7 (A)(1) of our Unitary Development Plan that we adopted in January 2007, so that the noise environment of people in noise sensitive properties is protected, including the intrusiveness of tonal and impulsive sounds; and as set out in S32 of Westminster's City Plan: Strategic Policies adopted November 2013, by contributing to reducing excessive ambient noise levels. Part (3) is included so that applicants may ask subsequently for a fixed maximum noise level to be approved in case ambient noise levels reduce at any time after implementation of the planning permission.

- 9 No vibration shall be transmitted to adjoining or other premises and structures through the

building structure and fabric of this development as to cause a vibration dose value of greater than 0.4m/s (1.75) 16 hour day-time nor 0.26 m/s (1.75) 8 hour night-time as defined by BS 6472 (2008) in any part of a residential and other noise sensitive property.

Reason:

As set out in ENV6 (2) and (6) of our Unitary Development Plan that we adopted in January 2007, to ensure that the development is designed to prevent structural transmission of noise or vibration.

- 10 You must provide each cycle parking space shown on the approved drawings prior to occupation. Thereafter the cycle spaces must be retained and the space used for no other purpose without the prior written consent of the local planning authority.

Reason:

To provide cycle parking spaces for people using the development as set out in TRANS 10 of our Unitary Development Plan that we adopted in January 2007.

- 11 **Pre Commencement Condition.** No development shall take place, including any works of demolition, until a construction management plan for the proposed development has been submitted to and approved in writing by the City Council as local planning authority. The plan shall provide the following details:
- (i) a construction programme including a 24 hour emergency contact number;
 - (ii) parking of vehicles of site operatives and visitors (including measures taken to ensure satisfactory access and movement for existing occupiers of neighbouring properties during construction);
 - (iii) locations for loading/unloading and storage of plant and materials used in constructing the development;
 - (iv) erection and maintenance of security hoardings (including decorative displays and facilities for public viewing, where appropriate);
 - (v) wheel washing facilities and measures to control the emission of dust and dirt during construction; and
 - (vi) a scheme for recycling/disposing of waste resulting from demolition and construction works.

You must not start work until we have approved what you have sent us. You must then carry out the development in accordance with the approved details.

Reason:

To protect the environment of residents and the area generally as set out in S29 of Westminster's City Plan: Strategic Policies adopted November 2013 and STRA 25, TRANS 23, ENV 5 and ENV 6 of our Unitary Development Plan that we adopted in January 2007.

- 12 **Pre Commencement Condition.** You must not start any demolition work on site until we have approved either:

- (a) a construction contract with the builder to complete the redevelopment work for which we have given planning permission on the same date as this consent, or
- (b) an alternative means of ensuring we are satisfied that demolition on the site will only occur immediately prior to development of the new building.

You must only carry out the demolition and development according to the proposed arrangements. (C29AC)

Reason:

To maintain the character of the Mayfair Conservation Area as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 and DES 9 (B) of our Unitary Development Plan that we adopted in January 2007 and Section 74(3) of the Planning (Listed Buildings and Conservation Areas) Act 1990. (R29AC)

- 13 You must not carry out demolition work unless it is part of the complete development of the site. You must carry out the demolition and development without interruption and according to the drawings we have approved. (C29BB)

Reason:

To maintain the character of the Mayfair Conservation Area as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 and DES 9 (B) of our Unitary Development Plan that we adopted in January 2007 and Section 74(3) of the Planning (Listed Buildings and Conservation Areas) Act 1990. (R29AC)

- 14 You must provide the following environmental sustainability features (environmentally friendly features) before you start to use any part of the development, as set out in your energy report from GDM Partnerships.

You must not remove any of these features. (C44AA)

Reason:

To make sure that the development provides the environmental sustainability features included in your application as set out in S28 or S40, or both, of Westminster's City Plan: Strategic Policies adopted November 2013. (R44AC)

- 15 You must submit detailed drawings showing the layout of the restaurant uses before the restaurants are occupied. The drawings must include the entrances, kitchens, covers and bar areas.

Reason:

To prevent a use that would be unacceptable because of the character and function of this part of the Mayfair Conservation Area. This is in line with S25 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 9 of our Unitary Development Plan that we adopted in January 2007. (R05FC)

- 16 **Pre Commencement Condition.** You must apply to us for approval of detailed drawings of how you will give people with disabilities access to all parts of the development. These drawings must include:

- * full details of threshold levels;
- * relevant elevations, plans and cross-sections of the building at a scale of 1:50; and
- * plans of all doors and handrails at a scale of 1:20.

You must not start work until we have approved what you have sent us. You must then carry out the work according to the approved drawings. (C20BA)

Reason:

To make sure that there is reasonable access for people with disabilities, and to make sure that the access does not harm the appearance of the building, as set out in S28 of

Westminster's City Plan: Strategic Policies adopted November 2013 and H 8 and DES 1 (B) of our Unitary Development Plan that we adopted in January 2007. (R20BC)

- 17 All servicing must take place between 06.00 - 08.30 on Monday to Saturday and 06.30 - 08.30 on Sunday. Servicing includes loading and unloading goods from vehicles and putting rubbish outside the building. (C23DA)

Reason:

To avoid blocking the surrounding streets and to protect the environment of people in neighbouring properties as set out in S42 of Westminster's City Plan: Strategic Policies adopted November 2013 and STRA 25, TRANS 20 and TRANS 21 of our Unitary Development Plan that we adopted in January 2007. (R23AC)

- 18 You must clad the western elevation in white glazed brick. You must apply to us for approval of a sample of the white glazed brick. You must not start work on the relevant part of the development until we have approved the sample. You must then clad the elevation in the brick we have approved and must not change it without our permission.

Reason:

To increase the reflectivity into the adjoining office windows.

- 19 The plant/machinery hereby permitted shall not be operated except between 08.00 hours and 00.00 (midnight) hours daily.

Reason:

To safeguard the amenity of occupiers of noise sensitive properties and the area generally by ensuring that the plant/machinery hereby permitted is not operated at hours when external background noise levels are quietest thereby preventing noise and vibration nuisance as set out in S32 of Westminster's City Plan: Strategic Policies adopted November 2013 and ENV 6 and ENV 7 of our Unitary Development Plan that we adopted in January 2007.

- 20 You must not allow more than 125 customers into the property at any one time. (C05HA)

Reason:

We cannot grant planning permission for unrestricted use in this case because it would not meet TACE9 of our Unitary Development Plan that we adopted in January 2007. (R05AB)

- 21 You must apply to us for approval of samples of the facing materials you will use, including glazing, and elevations and roof plans annotated to show where the materials are to be located. You must not start any work on these parts of the development until we have approved what you have sent us. You must then carry out the work using the approved materials. (C26BC)

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the Soho Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 and DES 5 or DES 6 or both and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R26BE)

- 22 You must apply to us for approval of detailed drawings (scales 1:20 and 1:5) of the following parts of the development - typical facade details at all levels. You must not start any work on these parts of the development until we have approved what you have sent us.

You must then carry out the work according to these drawings. (C26DB)

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the Soho Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 and DES 5 or DES 6 or both and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R26BE)

- 23 The facades shall be constructed using glazed bricks and not glazed tiles or slips.

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the Soho Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 and DES 5 or DES 6 or both and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R26BE)

- 24 You must not put any machinery or associated equipment, ducts, tanks, satellite or radio aerials on the roof, except those shown on the approved drawings. (C26PA)

Reason:

Because these would harm the appearance of the building, and would not meet S25 or S28, or both, of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 and DES 5 of our Unitary Development Plan that we adopted in January 2007. (R26HC)

- 25 You must apply to us for approval of detailed drawings showing the following alteration(s) to the scheme

- The extract duct to terminate above the roof level of the adjacent property (1 Upper James Street)

You must not start on these parts of the work until we have approved what you have sent us. You must then carry out the work according to the approved drawings.

Reason:

To protect the environment of people in neighbouring properties as set out in S29 and S32 of Westminster's City Plan: Strategic Policies adopted November 2013 and ENV 6, ENV 7 and DES 5 of our Unitary Development Plan that we adopted in January 2007. (R14AC)

- 26 You must apply to us for approval of details of a supplementary acoustic report demonstrating that the plant will comply with the Council's noise criteria as set out in Condition 8 of this permission. You must not start work on this part of the development until we have approved what you have sent us.

Reason:

Because existing external ambient noise levels exceed WHO Guideline Levels, and as set out in ENV 6 (1), (6) and (8) and ENV 7 (A)(1) of our Unitary Development Plan that we adopted in January 2007, so that the noise environment of people in noise sensitive properties is protected, including the intrusiveness of tonal and impulsive sounds; and as set out in S32 of Westminster's City Plan: Strategic Policies adopted November 2013, by contributing to reducing excessive ambient noise levels.

- 27 You must paint all new external ductwork black and keep them that colour. (C26EA)

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the Soho Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 and DES 5 or DES 6 or both and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R26BE)

- 28 You must hang all doors or gates so that they do not open over or across the road or pavement. (C24AA)

Reason:

In the interests of public safety as set out in S41 of Westminster's City Plan: Strategic Policies adopted November 2013 and TRANS 2 and TRANS 3 of our Unitary Development Plan that we adopted in January 2007. (R24BC)

Informative(s):

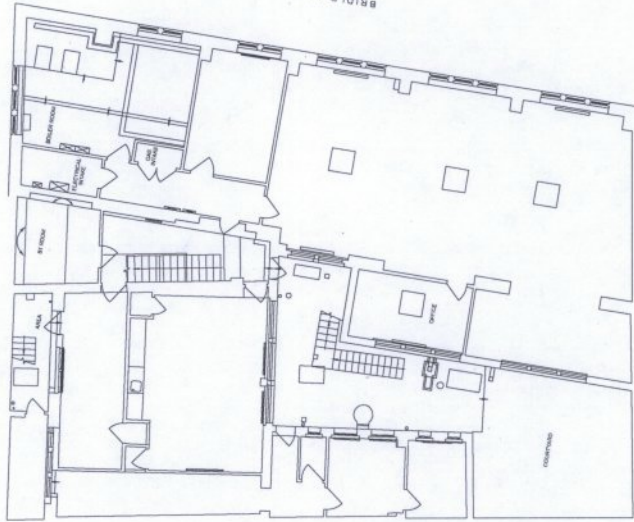
- 1 In dealing with this application the City Council has implemented the requirement in the National Planning Policy Framework to work with the applicant in a positive and proactive way. We have made available detailed advice in the form of our statutory policies in Westminster's City Plan: Strategic Policies adopted November 2013, Unitary Development Plan, Supplementary Planning documents, planning briefs and other informal written guidance, as well as offering a full pre application advice service, in order to ensure that applicant has been given every opportunity to submit an application which is likely to be considered favourably. In addition, where appropriate, further guidance was offered to the applicant at the validation stage.
- 2 This development has been identified as potentially liable for payment of the Mayor of London's Community Infrastructure Levy (CIL). Responsibility for paying the levy runs with the ownership of the land, unless another party has assumed liability. We will issue a CIL Liability Notice to the landowner or the party that has assumed liability with a copy to the planning applicant as soon as practicable setting out the estimated CIL charge. If you have not already done so you must submit an **Assumption of Liability Form** to ensure that the CIL liability notice is issued to the correct party. This form is available on the planning portal at <http://www.planningportal.gov.uk/planning/applications/howtoapply/whattosubmit/cil>
Further details on the Mayor of London's Community Infrastructure Levy can be found on our

website at: <http://www.westminster.gov.uk/services/environment/planning/apply/mayoral-cil/>.
You are reminded that payment of the CIL charge is mandatory and there are strong enforcement powers and penalties for failure to pay.

- 3 This permission is based on the drawings and reports submitted by you including the structural methodology report. For the avoidance of doubt this report has not been assessed by the City Council and as a consequence we do not endorse or approve it in anyway and have included it for information purposes only. Its effect is to demonstrate that a member of the appropriate institution applying due diligence has confirmed that the works proposed are feasible without risk to neighbouring properties or the building itself. The construction itself will be subject to the building regulations and the construction methodology chosen will need to satisfy these regulations in all respects.
- 4 Conditions control noise from the approved machinery. It is very important that you meet the conditions and we may take legal action if you do not. You should make sure that the machinery is properly maintained and serviced regularly. (182AA)
- 5 In premises that are to be used for entertainment purposes, where there may be a risk to employees from their exposure to high noise levels, the design and layout must seek to minimise such exposure so far as is reasonably practicable. For further information and guidance, please see: www.hse.gov.uk/noise/musicound.htm.
- 6 You are advised to permanently mark the plant/ machinery hereby approved with the details of this permission (date of grant, registered number). This will assist in future monitoring of the equipment by the City Council if and when complaints are received.
- 7 Please make sure that the lighting is designed so that it does not cause any nuisance for neighbours at night. If a neighbour considers that the lighting is causing them a nuisance, they can ask us to take action to stop the nuisance (under section 102 of the Clean Neighbourhoods and Environment Act 2005). (139AA)
- 8 You will have to apply separately for a licence for any structure that overhangs the road or pavement. For more advice, please phone our Highways section on 020 7641 2642. (110AA)
- 9 Please contact our Environmental Health Service (020 7641 2971) to register your food business and to make sure that all ventilation and other equipment will meet our standards. Under environmental health law we may ask you to carry out other work if your business causes noise, smells or other types of nuisance. (106AA)

BEAK STREET

BRIDLE LANE



GENERAL NOTES:
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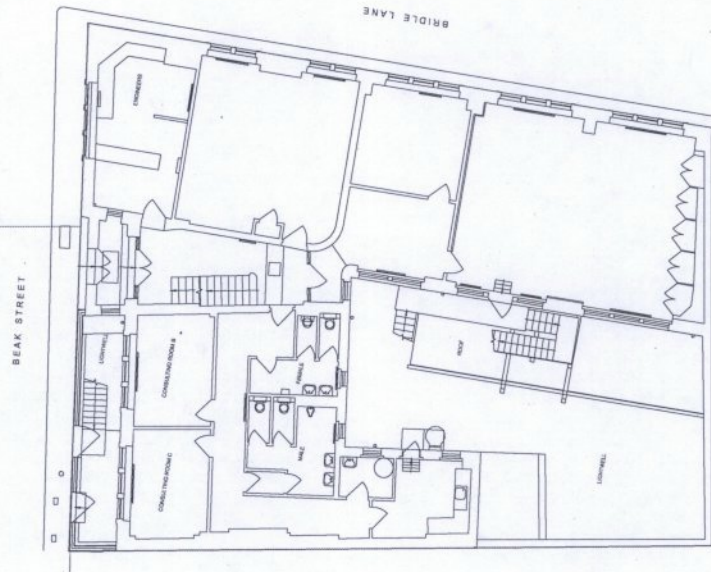
No. Date Revision Notes

PLANNING

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Project	40 Beak Street LONDON W1F 9RQ
Drawing	BASEMENT LEVEL PLAN
Project No	AS EXISTING
Drawing No	ST-EX-02-099
Scale	1:200 @ A1
Date	10/07/2014
Revision	P0
Sheet	

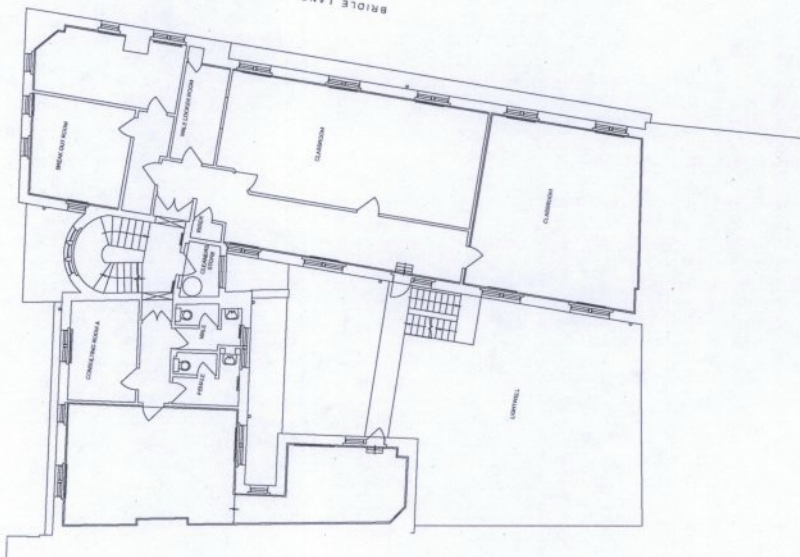
Site Area
451.9 sq m



<p>Project 40 Beak Street LONDON W1F 9RQ</p>	<p>Client STIFF + TREVILLION ARCHITECTS LTD</p>	<p>Discipline PLANNING</p>	<p>Rev. Date Revision Notes</p>
<p>Drawing No AS EXISTING</p>	<p>Project No 3814</p>	<p>Revision P0</p>	<p>Do not scale from this drawing. Check drawings on receipt and immediately report any discrepancies to the architect. Verify all dimensions and levels. The contents of this drawing are the property of Stiff + Trevillion. Stiff + Trevillion Architects LLP, registered and authorised to practice under the Architects Act 1997 and the Architects Regulations 2001.</p>
<p>Drawing title GROUND FLOOR PLAN</p>	<p>Scale 1:500 @ A1</p>	<p>Date 02/07/2014</p>	<p>Author</p>
<p>Author STIFF + TREVILLION</p>	<p>Project No ST-EX-02-100</p>	<p>Revision P0</p>	<p>Check</p>

BEAK STREET

BRIGLE LANE



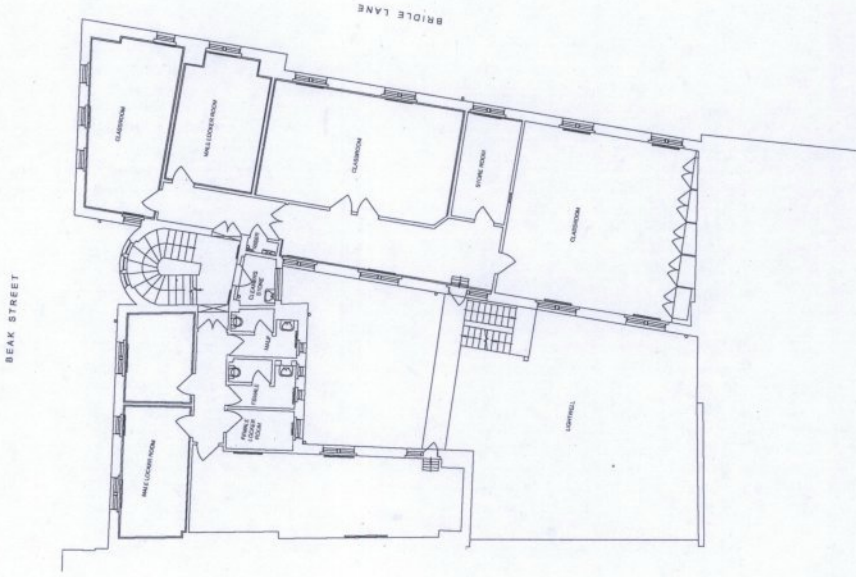
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Project	40 Beak Street LONDON W1F 9RQ
Drawn by	FIRST FLOOR PLAN AS EXISTING
Project No	3814
Drawn No	ST-EX-02-101
Scale	1:100 @ A3
Date	09/12/14
Sheet	10 of 10



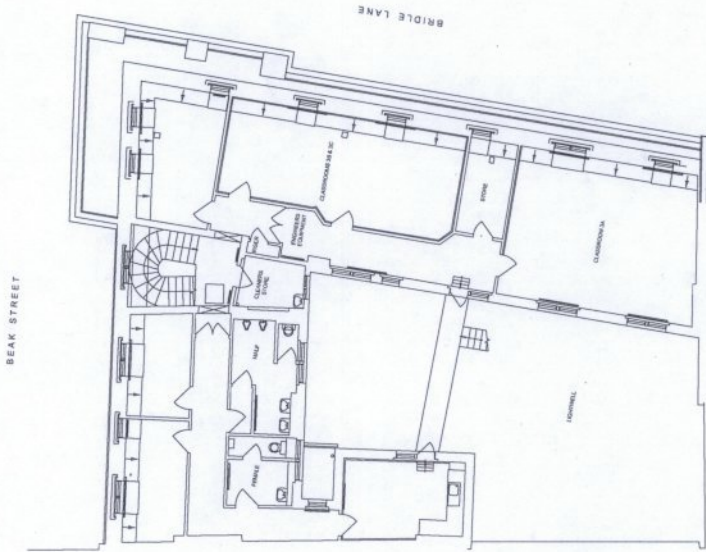
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No. Date Revision Notes

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Project	40 Beak Street LONDON W1P 9RQ
Drawn	SECOND FLOOR PLAN AS EXISTING
Project No.	3814
Revision	ST-EX-02-102
Scale	1:100 @ A1 1:200 @ A3
Date	12/07/2014
Sheet	P0



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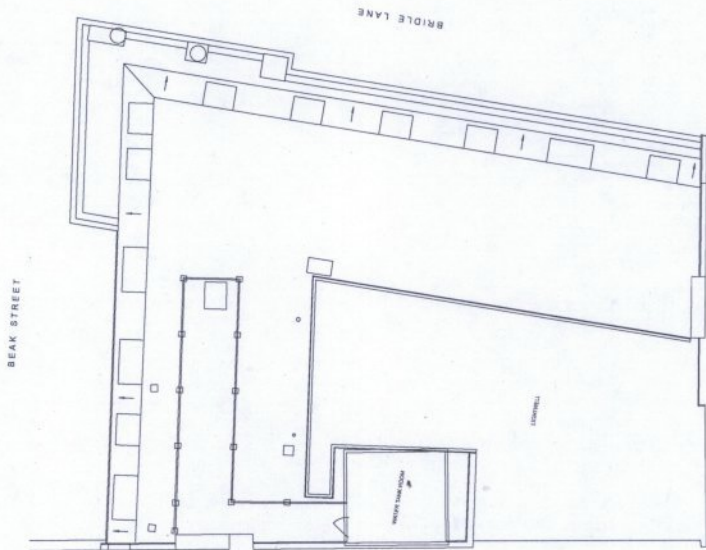
No.	Date	Revision Notes

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Project	40 Beak Street LONDON W1F 9PQ
Drawings	THIRD FLOOR PLAN AS EXISTING
Project No.	3814
Drawing No.	ST-EX-02-103
Scale	1:100 @ A3
Date	13/07/2011
Author	P0

15/08/2014



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No. Date Revision Notes

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Project	40 Beak Street
Client	LONDON W1F 9RQ
Drawing	ROOF PLAN
Condition	AS EXISTING
Project No	3814
Drawing No	ST-EX-02-104
Scale	1:500 @ A1
Date	15/08/2014
Revision	P0
Sheet	02/04



38a BEAK STREET

40 BEAK STREET

Project	40 Beak Street LONDON, W1F 9RD
Drawn by	BEAK STREET ELEVATION
Project No.	AS EXISTING
Drawing No.	3814
Revision No.	ST-EX-03-100
Date	18.03.11
Scale	1:100 & 1:25
Sheet	10 of 10

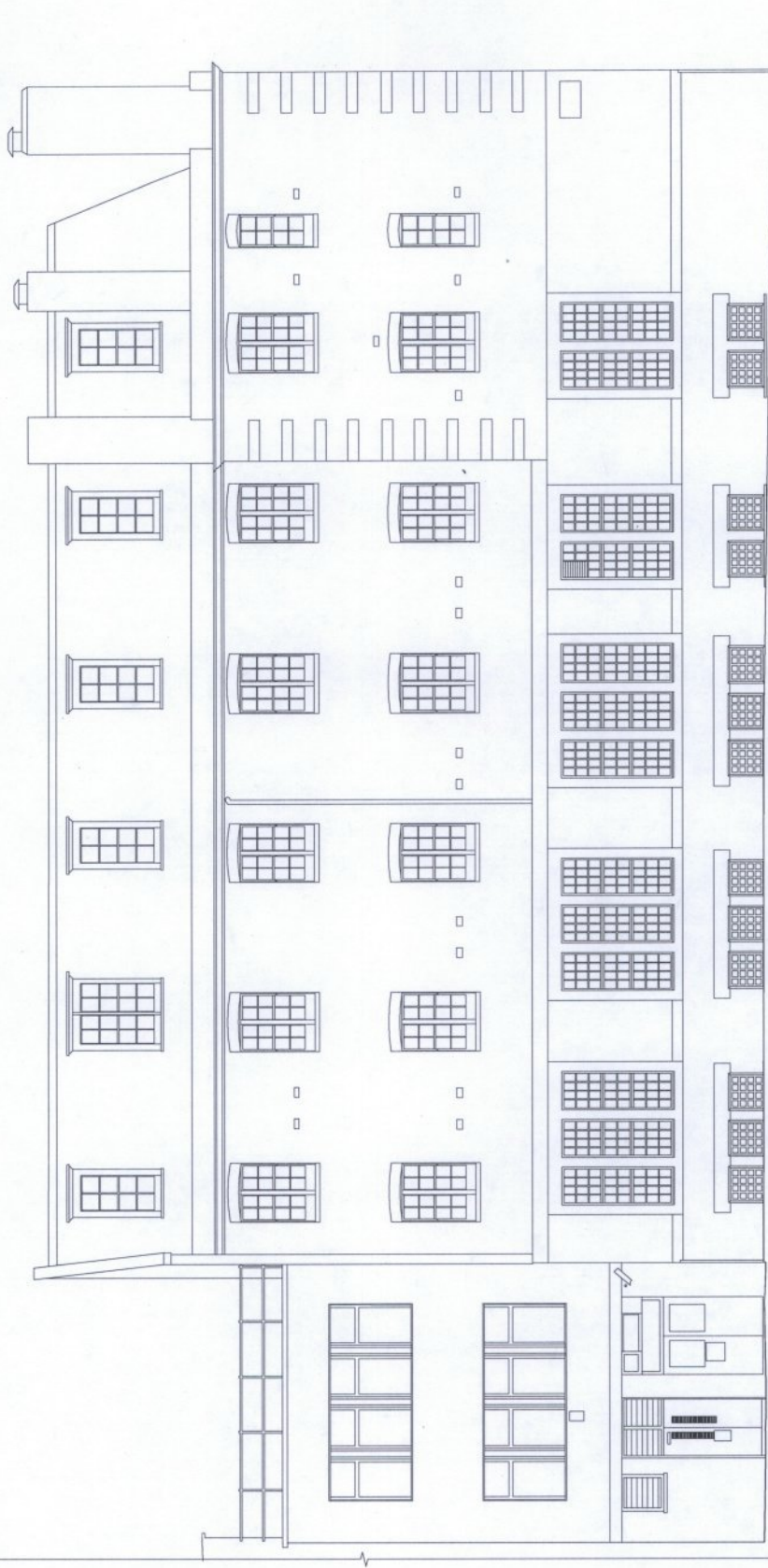
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PLANNING

0 1 5 M

No.	DATE	REVISION NOTES

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40 BEAK STREET

20 BRIDLE LANE

Project	40 Beak Street LONDON, W1F 9RQ
Drawn by	BRIDLE LANE ELEVATION
Project No	AS EXISTING
Revision	3814
Scale	1:100 @ A2
Date	ST-EX-03-101
Author	3814
Checked	3814

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PLANNING

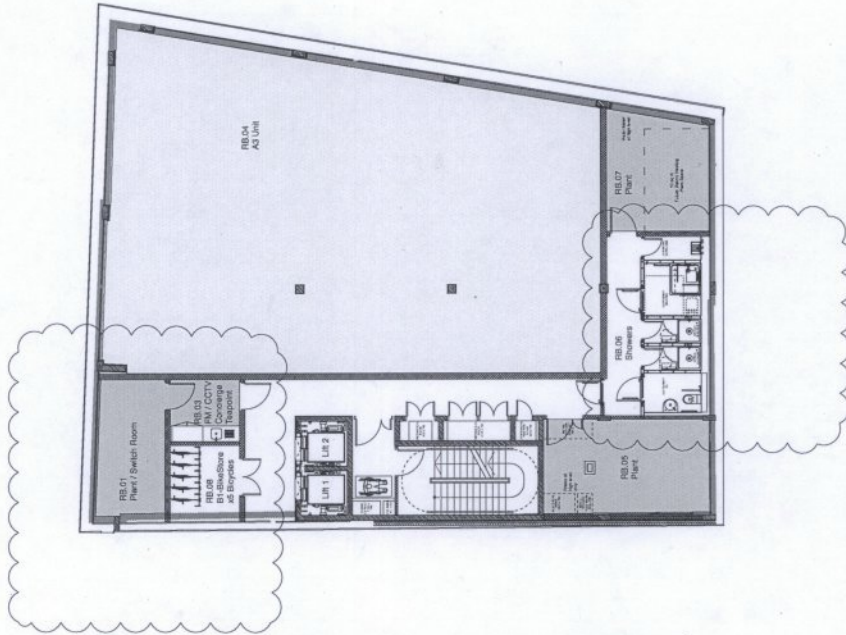
0 1 5 M

No.	Date	Revision Notes

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LEGEND

-  B1 Office
-  A3 Retail / Restaurant
-  Plant
-  Terrace



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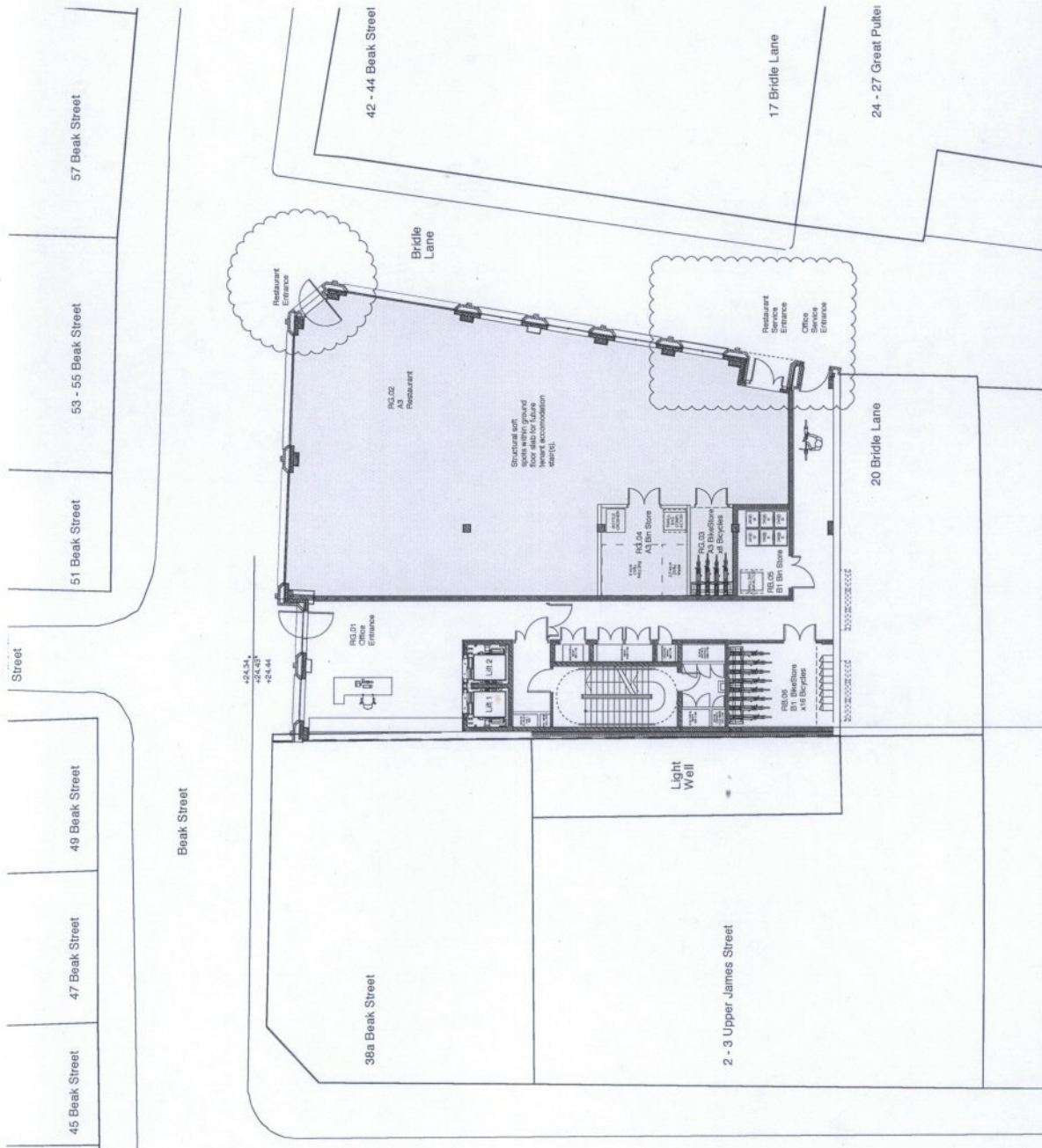
No.	Date	Revision Notes
1	18/06/2018	Block 100 (R10.06) with 5 no. additional blocks incorporated. Showers / WC's Relocated to enable a full plant / plant room (R10.01) from 40 Beak Street.

PLANNING

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Project	40 Beak Street LONDON W1F 9RQ
Drawing	BASEMENT LEVEL PLAN AS PROPOSED
Project No.	3814
Scale	1:200 @ A3 1:100 @ A4
Revision	P1
Issue	18/06/2018

- Legend**
- B1 Office
 - A3 Retail / Restaurant
 - Plant
 - Terrace



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No. DATE Revision Notes

1	13/08/2015	Restaurant corner entrance door moved further. Amendments to service entrance doors. Office service area moved. Changes to office layout and furniture. Restaurant service door to street cabinet opening. Additional outdoor seating to Bridle Lane.
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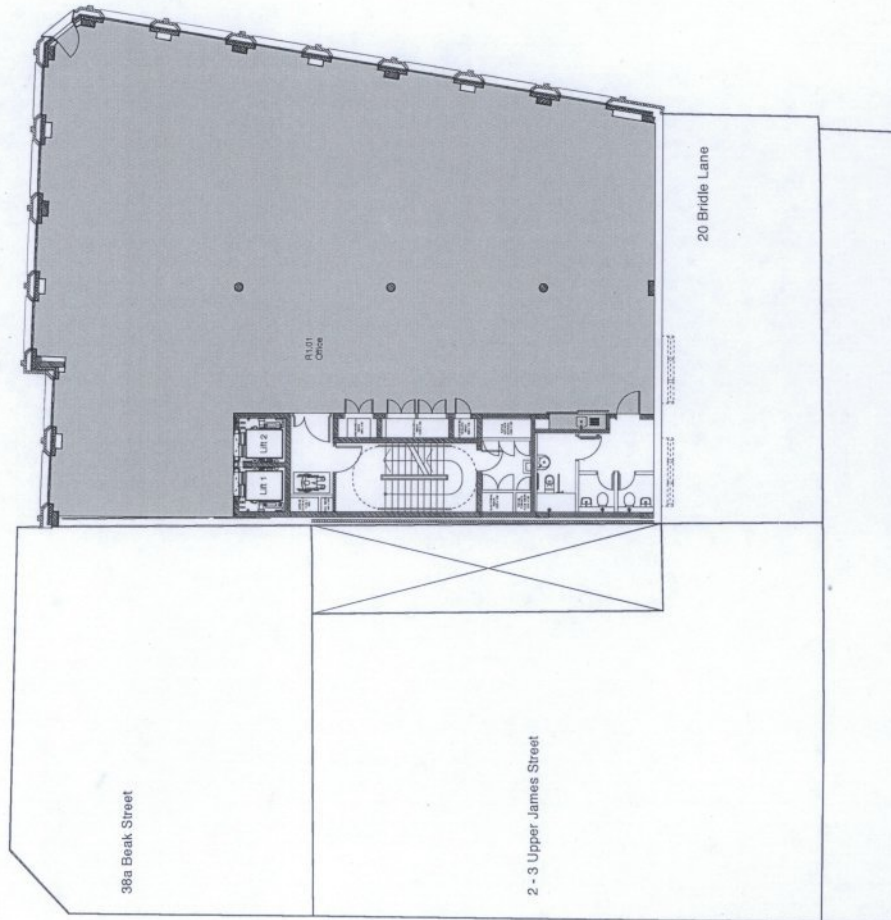
Plot: 40 Beak Street
 LONDON W1F 9RQ
 Ground Floor Plan
 AS PROPOSED

Project No: 3814
 Scheme No: ST-PR-02-100
 Date: 13/08/15
 Issue: 02/03/15

Phase: P1
 Number: 03.03.15

Legend

- B1 Office
- A3 Retail / Restaurant
- Plant
- Terrace



No. Date Revision Notes

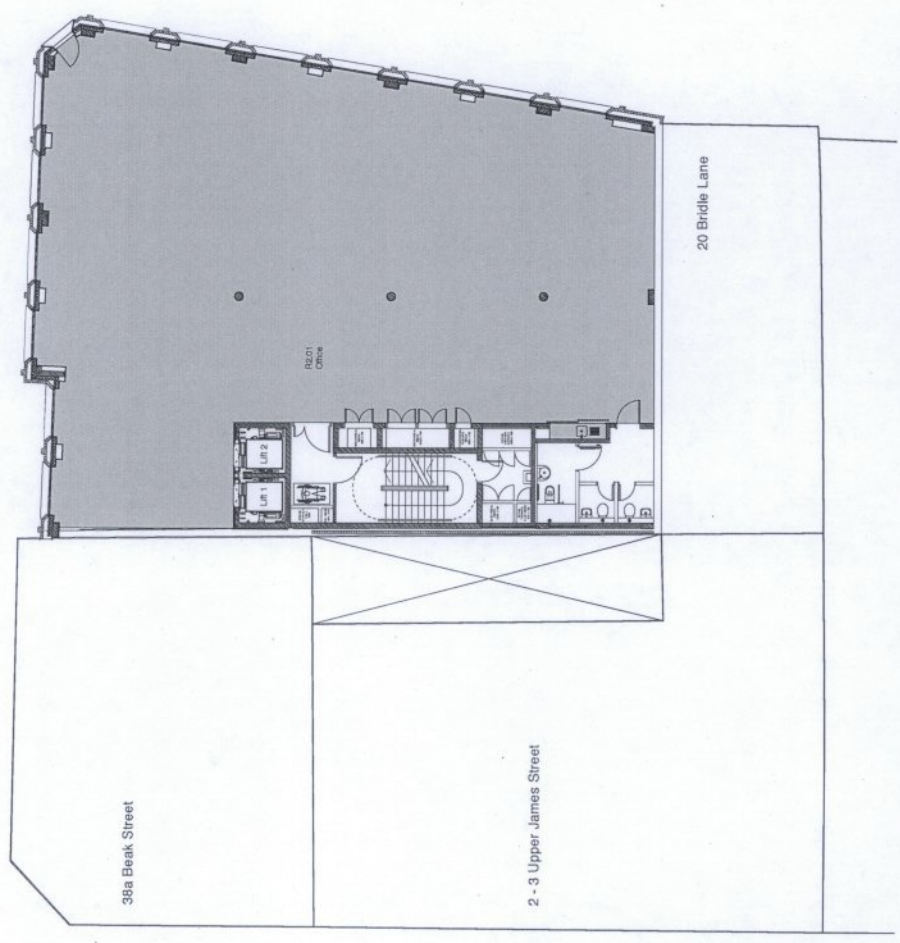
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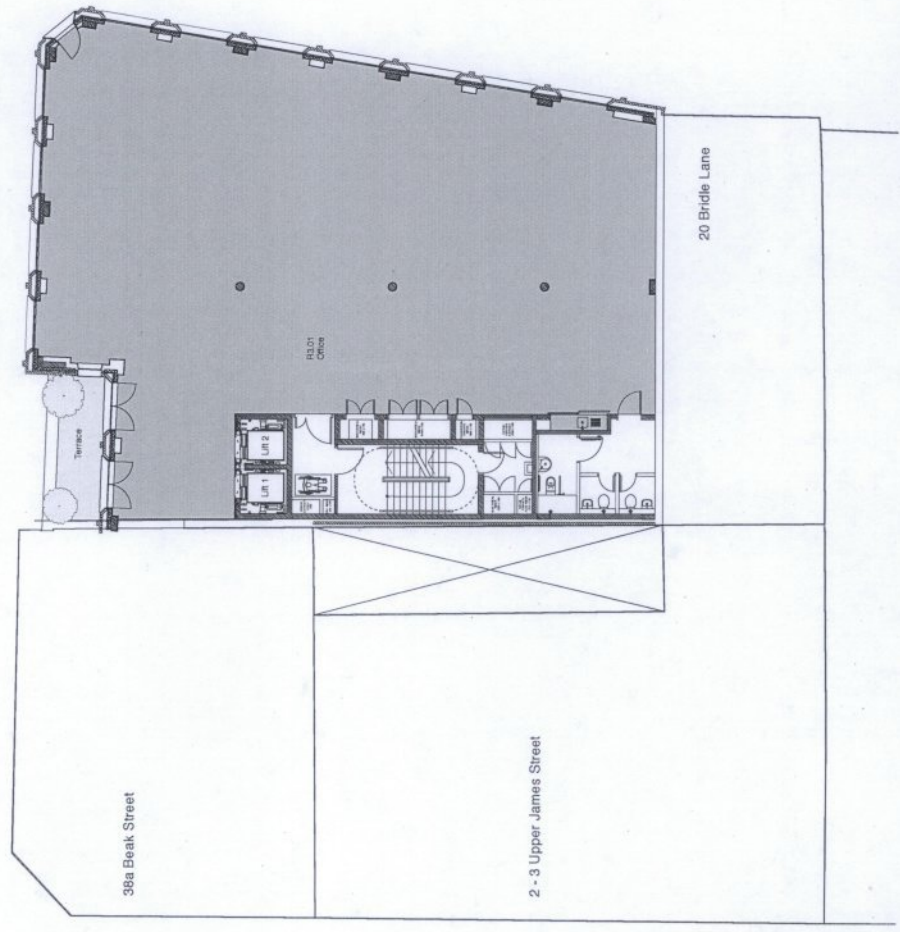
Project	40 Beak Street LONDON W1F 8RD
Drawing	FIRST FLOOR PLAN AS PROPOSED
Proposed	3814
Date	11/02/2014
Scale	1:200 @ A1
Date	09/07/2014
Revision	P0

- Legend**
- B1 Office
 - A3 Retail / Restaurant
 - Plant
 - Terrace



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<p>Project: 40 Beak Street LONDON W1F 9RG</p>		<p>AS PROPOSED</p>	
<p>Drawing: SECOND FLOOR PLAN</p>		<p>Revision: P0</p>	
<p>Drawn by: 3814</p>		<p>Date: 15/08/24</p>	
<p>Checked by: ST-PR-02-102</p>		<p>Scale: 1:100 @ A3</p>	
<p>Issue: 01/08/24</p>		<p>Revised:</p>	
<p>PLANNING</p>			
<p>Stiff + Trevillion</p> <p>Stiff + Trevillion Architects Ltd 14 Blenheim Street London W1F 9RG Tel: +44 (0)20 7462 1000 Fax: +44 (0)20 7462 1001 www.stiffandtrevillion.com</p>			

- LEGEND**
- B1 Office
 - A3 Retail / Restaurant
 - Plant
 - Terrace



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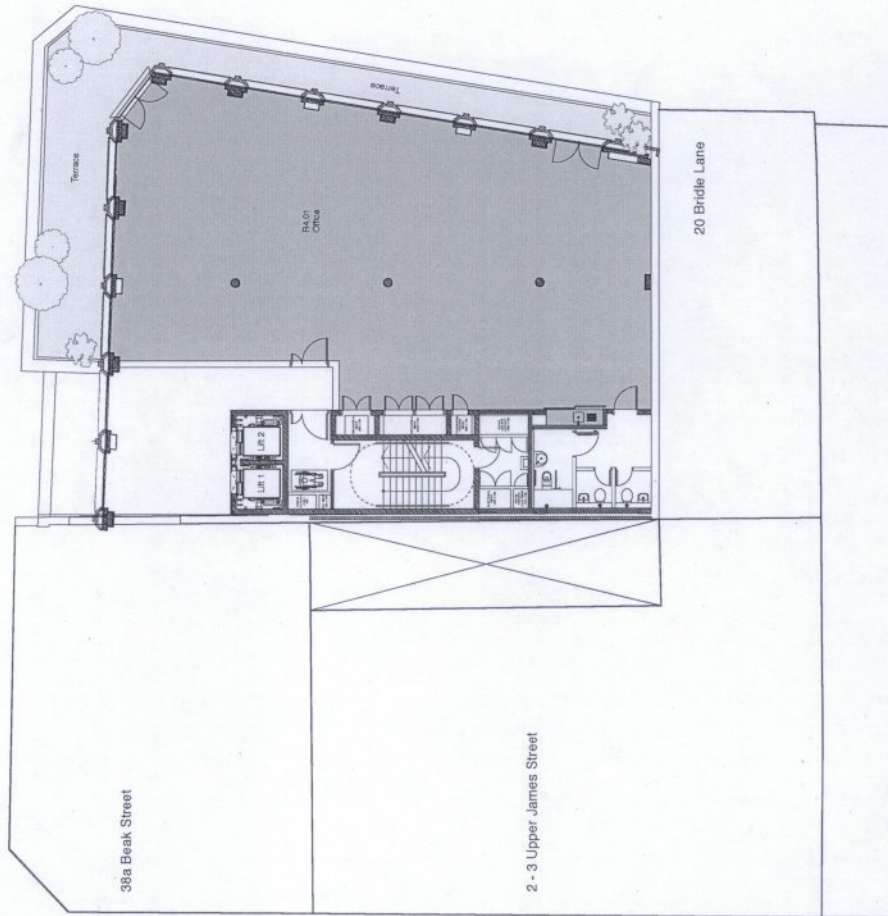
No.	Date	Revision Notes

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Project	40 Beak Street LONDON W1F 9RG
Drawing	THIRD FLOOR PLAN AS PROPOSED
Project No.	3814
Drawing No.	ST-PR-02-103
Scale	1:200 @ A2
Date	SPP 014
Revision	P0
Sheet	

- Legend
- B1 Office
 - A3 Retail / Restaurant
 - Plant
 - Terrace



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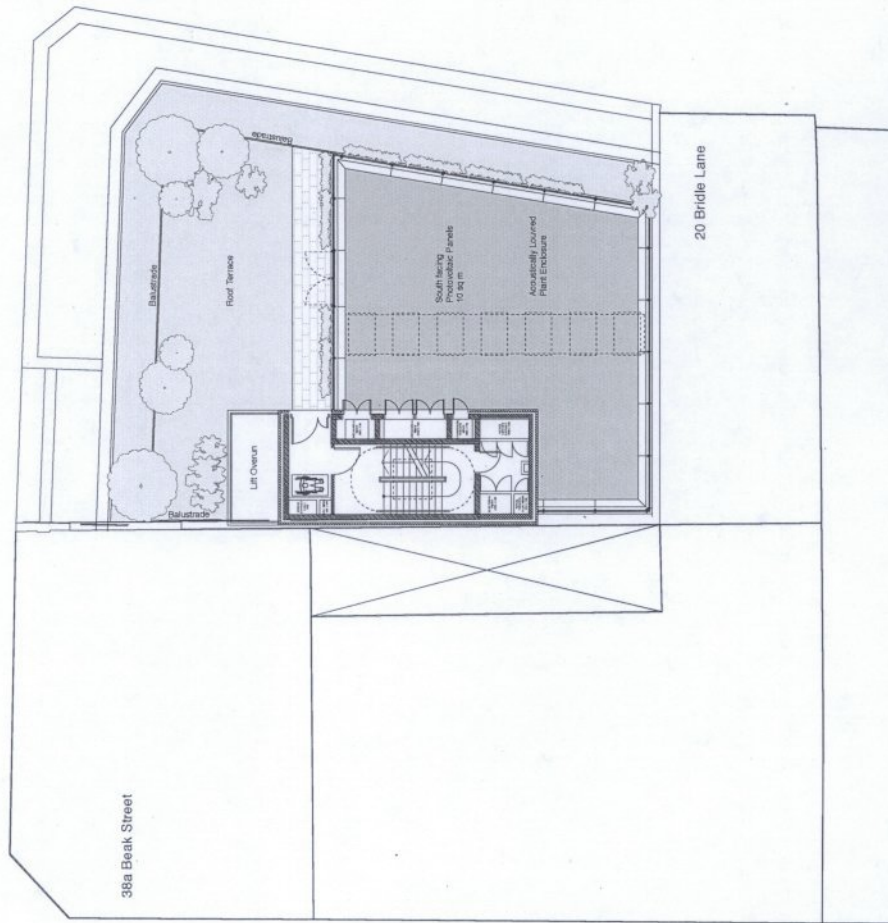
No.	Date	Revision Notes

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Project	40 Beak Street LONDON W1F 9RQ
Scheme	FOURTH FLOOR PLAN AS PROPOSED
Project No.	3814
Scale	1:100 @ A1
Sheet	ST-PR-02-104
Revision	P0

- Legend**
- B1 Office
 - A3 Retail / Restaurant
 - Plant
 - Terrace



Project	40 Beak Street
Location	LONDON W1F 9RQ
Drawing	ROOF PLAN
Revision	AS PROPOSED
Project No.	3614
Revision No.	ST-PR-02-105
Date	12/08/14
Scale	1:100
Author	

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PLANNING

No. Date Revision Notes

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Bridle Lane

Restaurant Entrance

Office Entrance

42 BEAK STREET

40 BEAK STREET

38a BEAK STREET

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 Vertical dimensions and levels are given in millimetres unless otherwise stated.
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 All work shall be in accordance with the Building Regulations.

No.	Date	Revision Notes

LEGEND
01 Glazed Brickwork, Type 1 (Base)
02 Glazed Brickwork, Type 2 (Body)
03 Metal Balustrade
04 Decorative Corner Window Reveal
05 Decorative Cornice
06 Acoustically Louvered Plant Enclosure

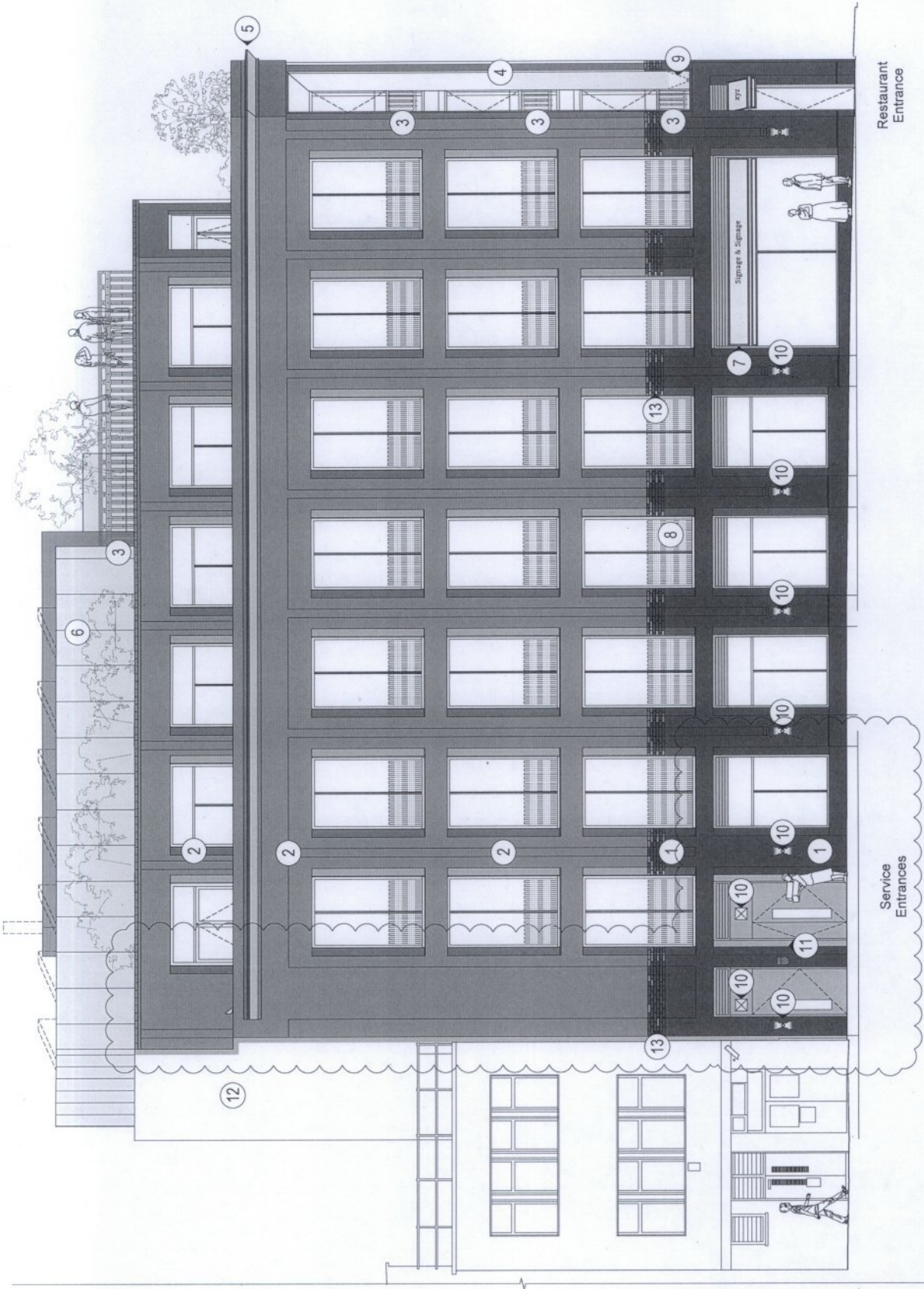
LEGEND
07 Restaurant Awning
08 Ceramic Fitting
09 2no. External Warm White LED Uplighters (To base of corner window reveal)
10 External Warm White LED Light fittings
11 Wall Mounted Ashtrays
12 Brickwork, Type 1 To Flank Wall
13 Transition between Glazes Type 1 & 2

PLANNING

0 1 5 M

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Project	40 Beak Street LONDON, W1F 9RG
Drawing	BEAK STREET ELEVATION AS PROPOSED
Project No.	3814
Drawing No.	ST-PR-03-100
Date	15.08.18
Drawn	MA/2018
Checked	P0



20 BRIDLE LANE

40 BEAK STREET

Restaurant Entrance

Service Entrances

GENERAL NOTES:
 1. Check all dimensions and levels against the approved drawings.
 2. Check all materials and finishes against the approved drawings.
 3. Check all structural details against the approved drawings.
 4. Check all services and utilities against the approved drawings.
 5. Check all landscaping and external works against the approved drawings.
 6. Check all external works against the approved drawings.
 7. Check all internal works against the approved drawings.
 8. Check all external works against the approved drawings.
 9. Check all internal works against the approved drawings.
 10. Check all external works against the approved drawings.
 11. Check all internal works against the approved drawings.
 12. Check all external works against the approved drawings.
 13. Check all internal works against the approved drawings.

No. Date Revision Notes
 1 03/02/2015 Service entrance doors reconfigured. Additional ground floor window added. Facade amendment to final facade by adjacent to 20 Bridle Lane.

- LEGEND**
- 011 Glazed Brickwork, Type 1 (Base)
 - 021 Glazed Brickwork, Type 2 (Body)
 - 031 Metal Balustrade
 - 041 Decorative Corner
 - 051 Acoustically Louvered Plant Enclosure
 - 071 Restaurant Awnings
 - 081 Ceramic Fitting
 - 091 2nd, External Warm White LED Uplighters (To base of corner window reveal)
 - 101 External Warm White LED Light fittings
 - 111 Wall Mounted Asptrays
 - 121 Brickwork, Type 1 To Plinth Wall
 - 131 Transition between Glazed Type 1 & 2

PLANNING

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Project 40 Beak Street
Location LONDON, W1F 9RQ
Drawing BRIDLE LANE ELEVATION
AS PROPOSED
Project No. 3814
Revision No. ST-PR-03-101
Date 03/02/15
Scale 1:500 A3
Sheet 03.02.015